



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

COMMUNITY DEVELOPMENT

PERMIT #: **08-SM-2786313**
APPLICATION #: **AP2000619**
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____
DOCUMENT #: **PR2000306**

CONSTRUCTION PERMIT FOR: OSTDS New

APPLICANT: (South Group USA LLC)

EXCAVATION INSPECTION REQUIRED

PROPERTY ADDRESS: 7054 Rosemont Dr Englewood, FL 34224

LOT: 17 BLOCK: 3639 SUBDIVISION: P C Sec 64

PROPERTY ID #: 412011202008 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD Septic CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [500] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [] SQUARE FEET 34 ARC 24 CHAMBERS SYSTEM

A TYPE SYSTEM: [] STANDARD [] FILLED [X] MOUND []

I CONFIGURATION: [] TRENCH [X] BED []

N
F LOCATION OF BENCHMARK: EDGE OF PAVMENT @ LEFT P/L 9.95 NAVD

I ELEVATION OF PROPOSED SYSTEM SITE [0.15] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [1.32] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [32.00] INCHES EXCAVATION REQUIRED: [46.00] INCHES

O The system is sized for 3 bedrooms with a maximum occupancy of 6 persons (2 per bedroom), for a total estimated flow of 300 gpd.

T Infiltrative Surface Elevation: 11.27 feet (NAVD) / Excavate 2' wider & longer to a depth of 46".

H The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 62-6., FAC. Connection to a central sewer system is mandatory after written notification by the utility that the sewer system is available for connections in accordance with CH. 381.00655 F.S.

R

SPECIFICATIONS BY: Ron Schlegel TITLE: P.E.

APPROVED BY: Johanna Whelan TITLE: Environmental Administrator Charlotte CHD
Johanna M Whelan

DATE ISSUED: 09/23/2023

EXPIRATION DATE: 03/23/2025

DEP 4015, 06-21-2022 (Obsoletes previous editions which may not be used)
Incorporated 62-6.004, FAC



SEPTIC SYSTEM PERMIT

08-SM-2786313

Application #: AP2000619

CHAPTER 381, FLORIDA STATUTES & 64E-6, FLORIDA ADMINISTRATIVE CODE

Date Issued: 09/23/2023

THIS PERMIT CARD MUST BE POSTED ON SITE

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary []

APPLICANT: (South Group USA LLC)

PROPERTY STREET ADDRESS: 7054 Rosemont Dr Englewood, FL 34224

SEPTIC CONTRACTOR: Where to Go Designs Inc.

LOT: 17 BLOCK: 3639 SUBDIVISION: P C Sec 64

PROPERTY ID #: 412011202008 [Section/Township/Range/Parcel No.] [OR TAX ID NUMBER]

See System Construction Permit for System Specifications

EXCAVATION INSPECTION APPROVED: ☐ YES ☐ NO BY: DATE:

INITIAL INSPECTION

OK TO COVER/DATE:

CONSTRUCTION NON-COMPLIANCE DATE:

E.H.SPECIALIST:

REASON(S):

CALL FOR FINAL INSPECTION AFTER:

☐ roof is guttered

☐ mound is stablized:4' shoulder all sides
max.____:1 slopes, 6"-18" soil cover,
Tank Soil Cap: Max 8"
sod installed over entire mound slope

☐ well is constructed

☐ inlet

☐

E.H.SPECIALIST:

FINAL INSPECTION

APPROVAL / DATE:

APPROVAL DENIED / DATE:

E.H. SPECIALIST:

REASON(S):

APPROVAL #:

E.H. SPECIALIST:

There is a \$145 fee for any additional inspections or reinspections after a disapproval

QUESTIONS? 941-624-7200



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM (OSTDS)

PERMIT NO. 2786313
DATE PAID: 9-20-23
FEE PAID: 535.00
RECEIPT #: 6465096

JOB 230277 APPLICATION FOR CONSTRUCTION PERMIT

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: SOUTH GROUP USA LLC

EMAIL: isidro@wheretogodesigns.com

AGENT: WHERE TO GO DESIGNS INC.

TELEPHONE: (239)980-4554

MAILING ADDRESS: 8660 COLLEGE PARKWAY, SUITE 230, FORT MYERS, FLORIDA 33919

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

OSTDS REMEDIATION PLAN? ☐ Y ☒ N

LOT: 17 BLOCK: 3639 SUBDIVISION: PORT CHARLOTTE - SEC 64 PLATTED: 09-1959

PROPERTY ID #: 412011202008 ZONING: RSF3.5 I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 0.25 ACRES WATER SUPPLY: ☐ PRIVATE PUBLIC ☒ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 7054 ROSEMONT DRIVE, ENGLEWOOD, FLORIDA 34224

DIRECTIONS TO PROPERTY: W ON PEACHLAND BLVD, N ON COCHRAN BLVD,
FL-776 S, SE ON REGINA DR, NW ON S ACCESS RD, SE ON ROSEMONT DR,

BUILDING INFORMATION

☒ RESIDENTIAL

☐ COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table I, Chapter 62-6, FAC
1	SFR	3	1431	
2				
3				
4				

RECEIVED

SEP 20 2023

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Isidro Lagunas

DATE: 03-02-2023



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

2786313

PERMIT NO. _____
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____

JOB 230277

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT: SOUTH GROUP USA LLC

PROPERTY ADDRESS: 7054 ROSEMONT DRIVE, ENGLEWOOD, FLORIDA 34224

LOT: 17 BLOCK: 3639 SUBDIVISION: PORT CHARLOTTE - SECTION 64

PROPERTY ID #: 412011202008 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SAFTISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES []
A [] GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES []
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS # PUMPS []

D [500] SF ANY DOH APPROVED PRODUCT

R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: [] STANDARD [] FILLED [X] MOUND []

I CONFIGURATION: [] TRENCH [X] BED []

N

F LOCATION OF BENCHMARK: (9.95 NAVD) @ EOP + LT PL

I ELEVATION OF PROPOSED SYSTEM SITE [0.15] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [1.32] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [32] INCHES EXCAVATION REQUIRED: [46] INCHES

FROM THE DRAIN FIELD AREA PLUS 2 FEET WIDER AND LONGER REMOVE ALL SOIL TO A DEPTH OF 46 INCHES BELOW EXISTING GRADE. REMOVE ALL TOPSOIL & ROOT MATERIAL FROM TOE OF SLOPE TO TOE OF SLOPE. REPLACE WITH DOH APPROVED MATERIAL. INSTALLER MUST VERIFY 54 INCHES OF EFFECTIVE SOIL DEPTH. MINIMUM CATEGORY 3 TANK REQUIRED.

SPECIFICATIONS BY: RONALD SCHLEGEL

TITLE: P.E. #40232



Digitally signed by Ronald
Schlegel, P.E. #40232
DN: c=US, st=Florida,
j=Matlacha, o=Ronald Schlegel,
P.E. #40232, cn=Ronald Schlegel,
P.E. #40232,
email=fge@embarqmail.com
Date: 2023.03.14 14:43:13 -0500

APPROVED BY: _____ TITLE: _____ CHD

DATE ISSUED: _____

EXPIRATION DATE: _____

DH 4016, 08/09 (Obsoletes all previous Editions which may not be used)

Incorporated: 64E-6.003, FAC



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM

2786313

PERMIT NO. _____

SITE EVALUATION AND SYSTEM SPECIFICATIONS

JOB 230277

APPLICANT: SOUTH GROUP USA LLC

AGENT: WHERE TO GO DESIGNS INC.

LOT: 17 BLOCK: 3639 SUBDIVISION: PORT CHARLOTTE - SEC 64

PROPERTY ID #: 412011202008 [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: ☒ YES ☐ NO NET USABLE AREA AVAILABLE: 0.28 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 300 GALLONS PER DAY [TABLE / OTHER]
AUTHORIZED SEWAGE FLOW: 700 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 838 SQFT UNOBSTRUCTED AREA REQUIRED: 750 SQFT

BENCHMARK/REFERENCE POINT LOCATION: (9.95 NAVD) EOP + LT PL

ELEVATION OF PROPOSED SYSTEM SITE IS 0.15 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES
SURFACE WATER: 110.8 FT DITCHES/SWALES: 16.1 FT NORMALLY WET? ☐ YES ☒ NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: N/A FT
BUILDING FOUNDATIONS: 5.0 FT PROPERTY LINES: 12.1 FT POTABLE WATER LINES: 35.0 FT

SITE SUBJECT TO FREQUENT FLOODING: ☐ YES ☒ NO 10 YEAR FLOODING? ☐ YES ☒ NO
10 YEAR FLOOD ELEVATION FOR SITE: N/A FT MSL/NGVD SITE ELEVATION: 10.10 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1 10.10 NAVD

MUNSELL #/COLOR	TEXTURE	DEPTH
10 YR 5/2	FS/FILL	0 TO 06
10 YR 7/1	FS	06 TO 21
10 YR 8/1	STRIPPED MATRIX	10 TO 16
10 YR 6/4	LFS	21 TO 46
10 YR 7/4	FS	46 TO 72
		TO
		TO
		TO
		TO
USDA SOIL SERIES: SIMILAR TO #7 MATLACHA GR.FS - URBAN LAND COMPLEX		

SOIL PROFILE INFORMATION SITE 2 10.08 NAVD

MUNSELL #/COLOR	TEXTURE	DEPTH
10 YR 5/3	FS/FILL	0 TO 08
10 YR 7/1	FS	08 TO 20
10 YR 8/1	STRIPPED MATRIX	10 TO 15
10 YR 6/3	LFS	20 TO 44
10 YR 7/3	FS	44 TO 72
		TO
		TO
		TO
		TO
USDA SOIL SERIES: SIMILAR TO #7 MATLACHA GR.FS - URBAN LAND COMPLEX		

OBSERVED WATER TABLE: 60 INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 10 INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: ☐ YES ☒ NO WSWT INDICATOR: ☒ YES ☐ NO DEPTH: 10 INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 0.60 FS DEPTH OF EXCAVATION: 46 INCHES
DRAINFIELD CONFIGURATION: ☐ TRENCH ☒ BED ☐ OTHER (SPECIFY)

REMARKS/ADDITIONAL CRITERIA: INSTALL 500 SQUARE FEET OF ANY DOH APPROVED PRODUCT. FROM THE DRAIN FIELD AREA PLUS 2 FEET
WIDER AND LONGER REMOVE ALL SOIL TO A DEPTH OF 46 INCHES BELOW EXISTING GRADE. REMOVE ALL TOPSOIL AND ROOT MATERIAL FROM THE TOE OF
SLOPE TO TOE OF SLOPE. INSTALLER TO VERIFY 54" EFFECTIVE SOIL DEPTH. INSTALL 900 GAL. SEPTIC TANK. CATEGORY 3 TANK REQUIRED.

ENGINEER: RONALD SCHLEGEL P.E. # 40232

SITE EVALUATED BY: J.M. CLEVENGER C.E.H.P. #2204

DEP 4015, 06-21-2022 (Obsoletes previous editions)

Incorporated: 62-6.004, FAC



Digitally signed by Ronald

Schlegel, P.E. #40232

DN: c=US, st=Florida,

l=Matlacha, o=Ronald

Schlegel, P.E. #40232,

email=fge@embarqmail.com

Date: 2023.03.14 14:43:32

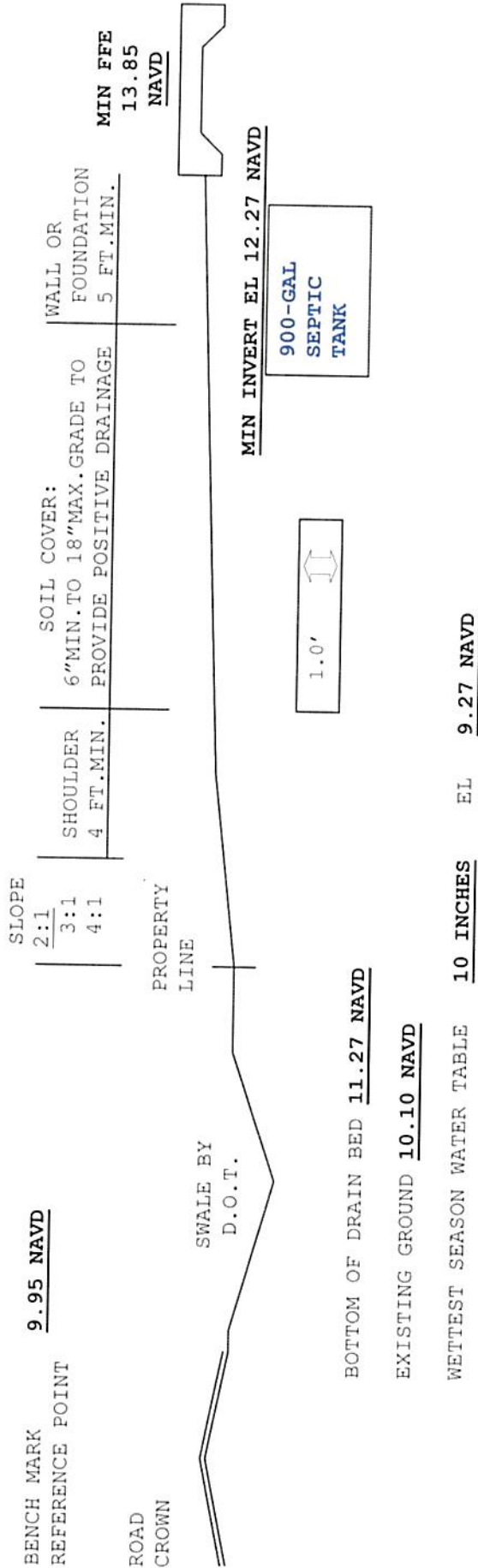
-05'00'

DATE: 03-02-2023

REV:

APOGEE DESIGN, (239) 466-6596 FAX 466-3756
PROPOSED SEPTIC SITE ELEVATIONS

ADDRESS: 7054 ROSEMONT DRIVE CITY: ENGLEWOOD STRAP #: 412011202008
BLOCK: 3639 LOT: 17 UNIT: N/A SUBDIVISION: PORT CHARLOTTE - SECTION 64



PRESCRIBED CORRECTIONS

FROM THE DRAIN FIELD AREA PLUS 2 FEET WIDER AND LONGER COMPLETELY REMOVE ALL SOIL TO A DEPTH OF **46 INCHES** BELOW EXISTING GRADE. REMOVE ALL TOPSOIL AND ROOT MATERIAL FROM TOE OF SLOPE TO TOE OF SLOPE. INSTALLER TO VERIFY 54" EFFECTIVE SOIL DEPTH. REPLACE REMOVED MATERIAL WITH AND CONSTRUCT MOUND OF CLEAN SAND.

Digitally signed by Ronald
Schlegel, P.E. 40232
DN: c=US, st=Florida,
l=Matlacha, o=Ronald
Schlegel, P.E. 40232,
cn=Ronald Schlegel, P.E.
40232,
email=fge@embarqmail.co
m
Date: 2023.03.14 14:43:44
-05'00'



This item has been electronically
signed and sealed using a SHA-1
hash algorithm. The digital signature
is not considered signed and
sealed and the SHA-1
hash algorithm code must be
verified on any electronic copy.

RONALD SCHLEGEL P.E. #40232

2786313

MEAN ANNUAL FLOOD LINE
AS DETERMINED BY WATER
STAINS ELEV.= 5.09'

CANAL

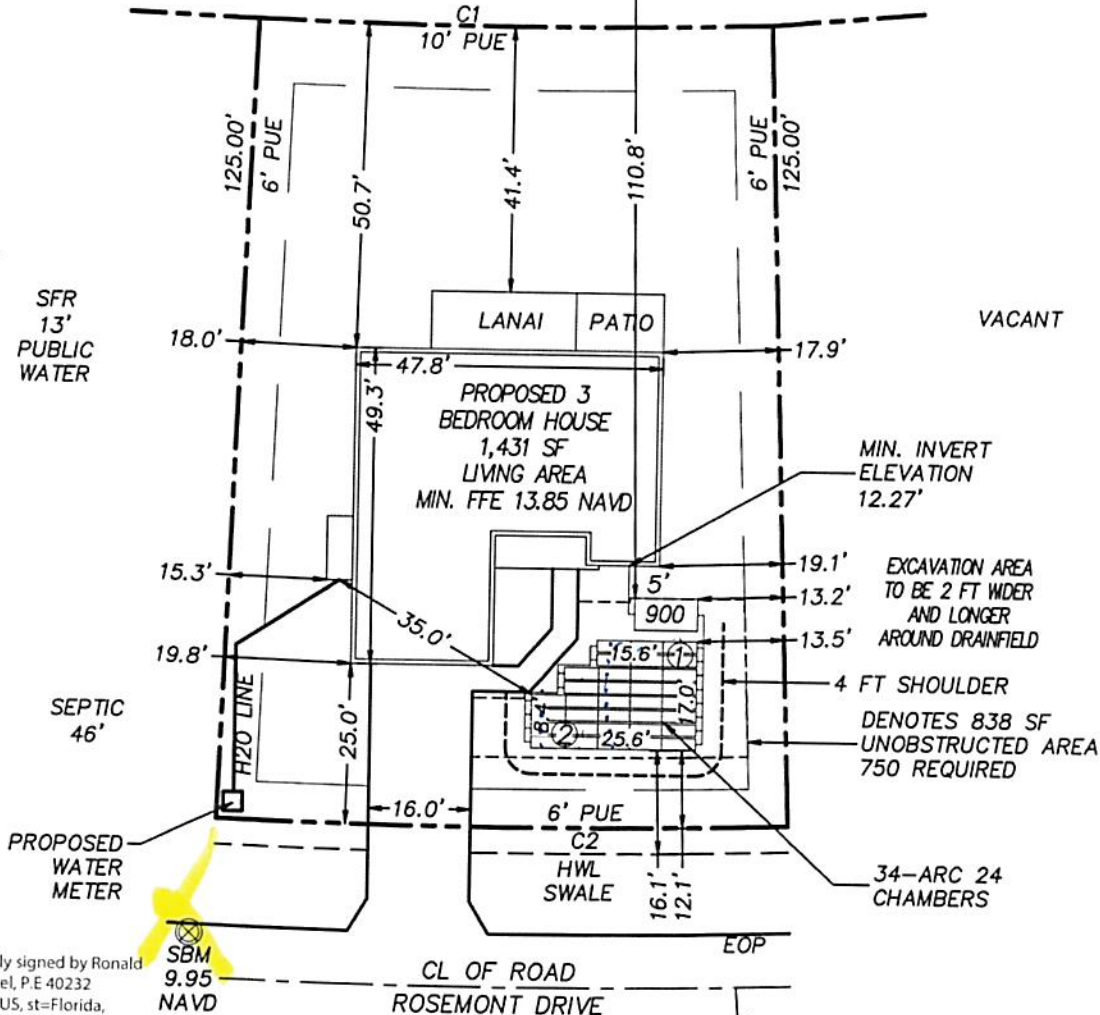
2786313

PORT CHARLOTTE
SECTION 64
BLOCK 3639
LOT 17

CURVE DATA
C1
R=1091.07
L=80'
CL=79.98
CHB=S36°45'32"E
D=04°12'03"

CURVE DATA
C2
R=1216.07
L=89.17'
CL=89.15
CHB=S36°45'36"E
D=04°12'04"

SFR
13'
PUBLIC
WATER



Digitally signed by Ronald
Schlegel, P.E. 40232
DN: c=US, st=Florida,
l=Matlacha, o=Ronald
Schlegel, P.E. 40232,
cn=Ronald Schlegel, P.E.
40232,
email=fge@embarqmail.c
om
Date: 2023.03.14 14:44:00
-05'00'

SBM
9.95
NAVD

CL OF ROAD
ROSEMONT DRIVE

Septic Plan Approved by Florida
Department of Health in Charlotte County
Inspector *[Signature]*
Date *9-23-23*



SEPTIC DETAIL

30'
SLOPE < 1%

NOTES:

Septic Detail prepared specifically for septic system construction and shall not be used for any other purpose.
The Building Setbacks noted on this Septic Detail have been provided by others, who are responsible for their accuracy. The preparer of this Septic Detail is not responsible for Building Setback errors.
Information used in the preparation of this Septic Detail obtained from survey supplied by Contractor.
The Contractor shall review this application and the DOH permit and shall notify all parties of any discrepancies, errors or omissions prior to any construction.
Corrections or changes must be made in writing on the applicable forms and resubmitted to DOH for review and approval.
Contractor to verify the location of existing wells, easements and setbacks.
The entire mound including slopes, shoulders and the soil cap shall be stabilized with vegetation. Slopes steeper than 5:1 shall be sodded or hydroseeded.
No off-site features are noted except those indicated on the Septic Detail.

LEGEND	
TEST HOLE #1	①
TEST HOLE #2	②
UNOBSTRUCTED AREA	----
H2O SWALE	----
EXCAVATION AREA	----
PROPERTY LINE	----
EASEMENT	----

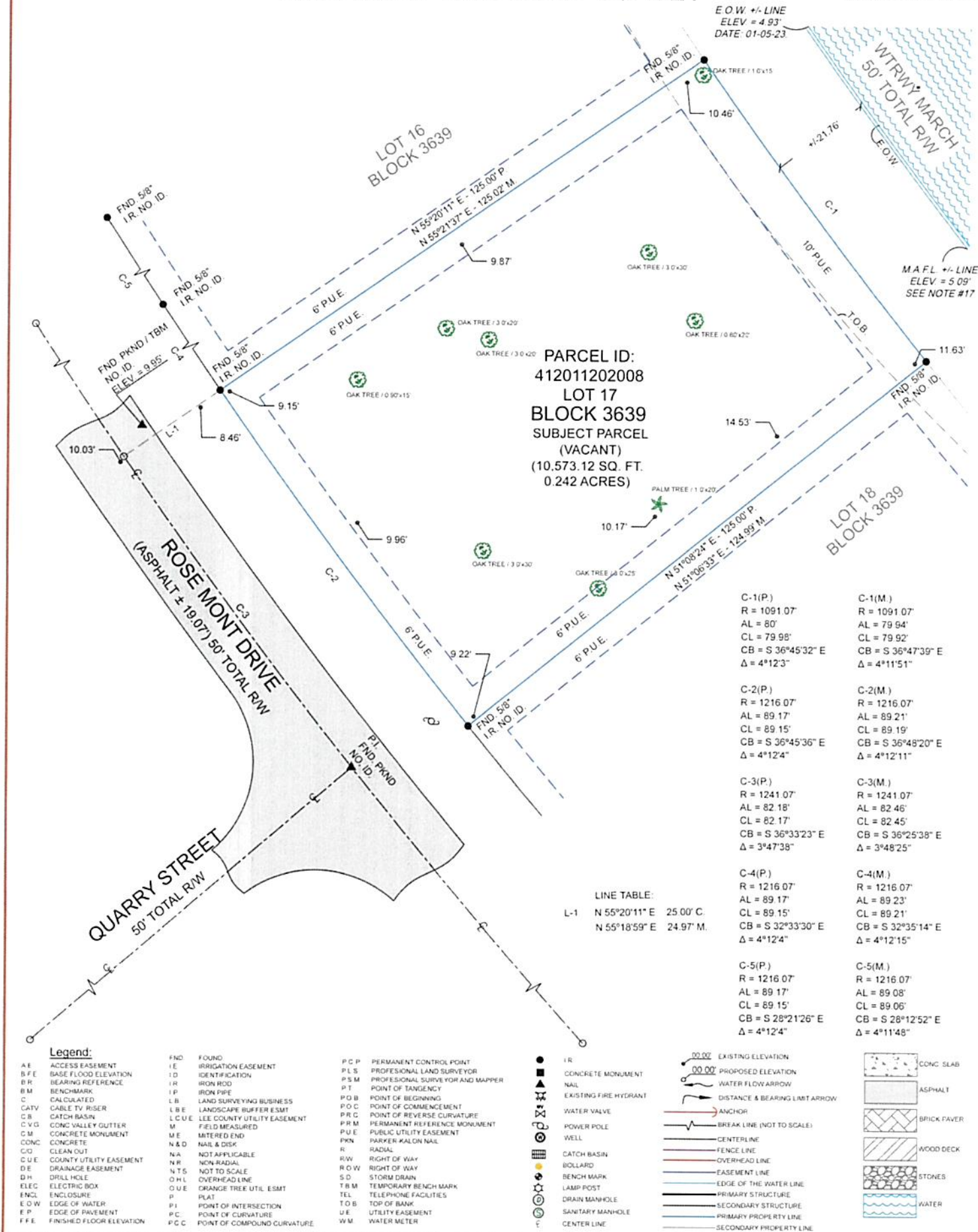
FLORIDA GULF ENGINEERING, INC.
PO BOX 1179
CARABELLE, FLORIDA 32322
Ronald Schlegel P.E. #40232
C.A. # 7720

APOGEE DESIGN
18510 TULIP ROAD
FORT MYERS, FLORIDA 33967
Phone (239) 466-6596 Fax (239) 466-3756

ADDRESS: 7054 ROSEMONT DRIVE
ENGLEWOOD, FLORIDA 34224
PID# 412011202008
JOB# 230277 DATE: 03-02-2023
REVISED:

SKETCH OF BOUNDARY SURVEY

SURVEY: W202202786



WILL'S SERVICE GROUP LLC. LAND SURVEYOR & MAPPER L.B. 8419 willsserviceg@gmail.com wilfredo@willsservicegroup.com 403 NW 24TH PL., CAPE CORAL FLORIDA - 33993 (956) 701 7101 (239) 202 1943	 DATE OF SURVEY 01 / 05 / 2023 COMPLETION DATE: 01 / 11 / 2023 DRAWN BY FD CHECKED BY JA	PROPERTY AND OWNER INFORMATION Property Address: 7054 ROSEMONT DR ENGLEWOOD FL 34224 Parcel I.D.: 412011202008 County/State: Charlotte / Florida Certified to: HPG GROUP, it's successor's and/or assigns and the Department of Housing and Urban Development as their interests may appear. Legal Description As Furnished: Lot 17, Block 3639, PORT CHARLOTTE SUBDIVISION, SECTION SIXTY FOUR, according to the plat thereof, recorded in Plat Book 5, Page 78A through 78F, of the Public Records of Charlotte County, Florida Flood Zone Information: Community Name: CHARLOTTE COUNTY Community Number: 120081 Panel 0192 Suffix G Effective Date: 12/15/2022 Flood Zone: A BFE = N/A	Surveyor's Notes: 1. LEGAL DESCRIPTION PROVIDED BY OTHERS. NO EXAMINATION OF TITLE MADE BY SURVEYOR. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT. 2. THIS CERTIFICATION IS ONLY FOR THE LANDS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS OR FREEDOM FROM ENCUMBRANCES, OWNERSHIP, OR RIGHTS OF WAY. 3. UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED. WALLS ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES. 4. NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER ONLY VISIBLE (ENCROACHMENTS LOCATED). 5. THIS SURVEY IS INTENDED FOR CONSTRUCTION PURPOSES ONLY EXCLUSIVELY FOR THIS USE BY THOSE TO WHOM IT IS CERTIFIED. THIS SURVEY IS TO BE USED FOR CONSTRUCTION, PERMITTING OR DESIGN. ANY OTHER USE IS NOT VALID WITHOUT WRITTEN CONSENT. 6. NO EFFORT WAS MADE TO PROVE PLAT BOUNDARIES. 7. ONLY IMPROVEMENTS SHOWN WERE LOCATED. 8. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. 9. PARCELS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHT-OF-WAYS OF RECORD, PERTAINING TO THE HEREON DESCRIBED LAND, (S) MUST BE FURNISHED TO THE SURVEYOR BY THE CLIENT OR THE CLIENTS AGENT PER FLORIDA STATUTE, CHAPTER 52.17 OF THE FLORIDA ADMINISTRATIVE CODE. 10. EASEMENTS SHOWN ON THIS DRAWING ARE FROM THE RECORDED PLAT. ANY OTHER EASEMENT (S) PERTAINING TO THE HEREON DESCRIBED LAND (S) MUST BE FURNISHED TO THE SURVEYOR BY THE CLIENT OR THE CLIENTS AGENT. 11. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. 12. PARCEL WAS SURVEYED FROM INFORMATION SUPPLIED BY THE CLIENT. 13. FENCE OWNERSHIP NOT DETERMINED. 14. THE ACCURACY OF CONTROL SURVEY DATA SHALL BE VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURE. ALL CONTROL MEASUREMENTS SHALL ACHIEVE THE FOLLOWING CLOSURES: COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET RURAL LINEAR: 1 FOOT IN 5,000 FEET 15. BEARINGS SHOWN HEREON ARE BASED UPON 824 3328E ALONG THE CENTERLINE OF ROSEMONT DRIVE AS PLATTED. 16. ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD83 DATUM. BENCHMARK USED (XXXX) WITH ELEVATION OF XXXX. 17. THE MEAN ANNUAL FLOOD LINE ELEVATION WAS ASSUMED FROM THE HIGHEST PHYSICAL WATER MARK (WATER STAINS IN THE FIELD) CLOSE AND PARALLEL TO THE EDGE OF THE WATER. (WATER ELEVATION = 5.08)
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